

Mike
Dobson



32 Summerhill Road

Garforth, Leeds, LS25 1AX

£240,000

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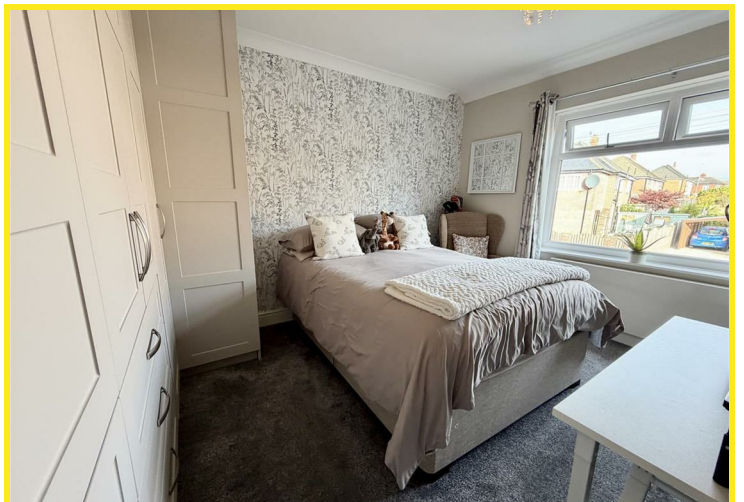
Nestled on the charming Summerhill Road in Garforth, Leeds, this beautifully presented semi-detached house offers a delightful blend of modern living and comfort. With two double bedrooms, this property is perfect for small families, couples, or those seeking a peaceful retreat.

Upon entering, you are welcomed into a spacious lounge that exudes warmth and style, providing an ideal space for relaxation or entertaining guests. The heart of the home is undoubtedly the modern fitted dining kitchen, which boasts a built-in oven, hob, and extractor, making it a joy for any culinary enthusiast. This area is perfect for family meals or casual dining, ensuring that every gathering is a memorable one there is also a separate utility space adding to the convenience of this home.

The main bedroom is a true sanctuary, featuring a range of fitted furniture that maximises space and offers ample storage. It also benefits from an en-suite WC, providing added convenience and privacy. The second bedroom is equally inviting, making it suitable for guests or as a home office.

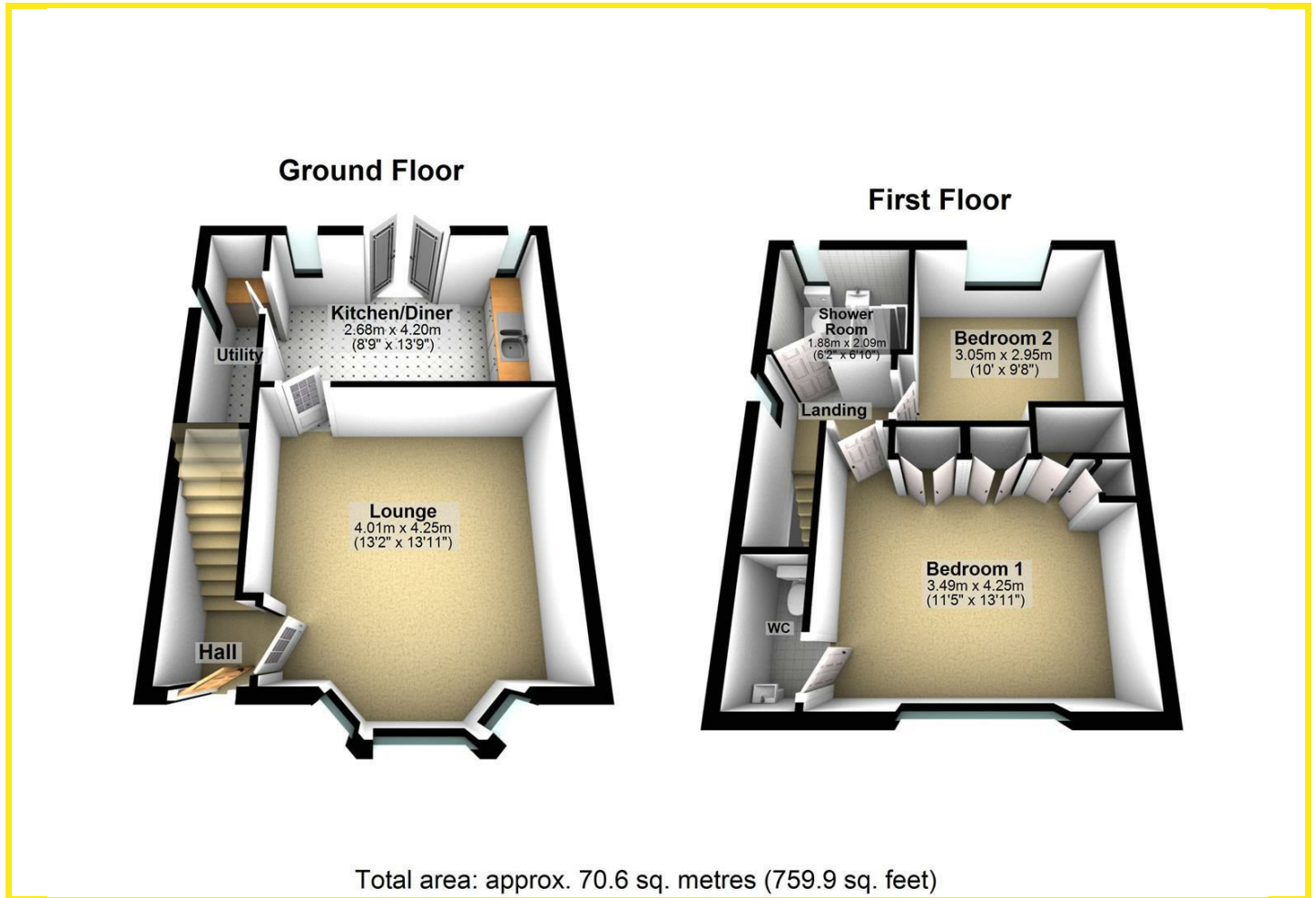
The property has been thoughtfully updated, including a re-fitted shower room that combines style with functionality. Outside, you will find off-road parking, a lovely rear garden complete with a patio and lawn, perfect for enjoying sunny days or hosting barbecues.

This semi-detached house on Summerhill Road is not just a home; it is a lifestyle choice, offering comfort, modern amenities, and a welcoming community. Do not miss the opportunity to make this delightful property your own.

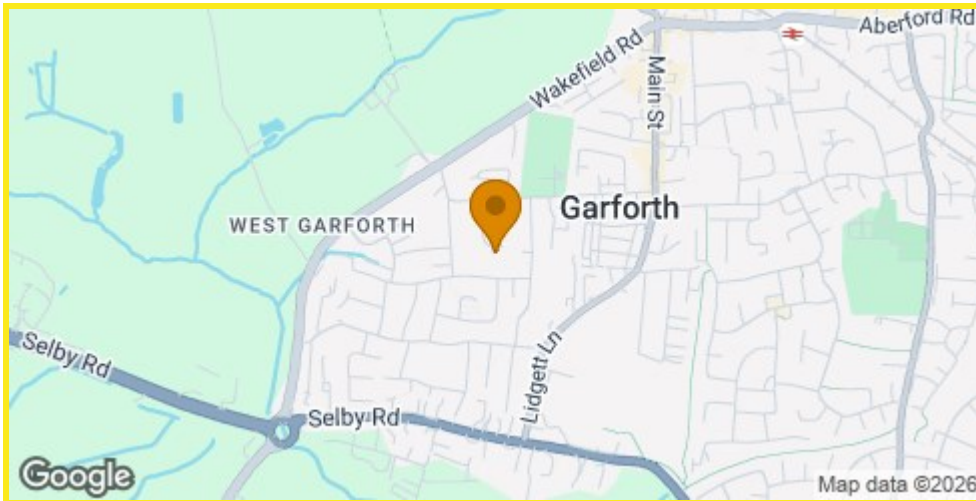




Floor Plan



Area Map



Energy Efficiency Graph

Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92 plus) A			
(81-91) B			
(69-80) C			
(55-68) D			
(39-54) E			
(21-38) F			
(1-20) G			
Not energy efficient - higher running costs			
		70	83
England & Wales		EU Directive 2002/91/EC	

Directions

From Garforth Main Street turn onto Barleyhill Road opposite the Medical Centre! Follow Barleyhill Road and take sixth turning left onto Summerhill Road. Alternatively if accessing Barleyhill Road from the A642 Summerhill Road is the second turning off on the right hand side.

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